

PLANNING COMMITTEE Regulatory Committee Agenda

Date Wednesday 9 June 2021

Time 6.00 pm

Venue Queen Elizabeth Hall, Civic Centre, Oldham, West Street, Oldham, OL1 1NL.

The meeting will also be streamed live on the Council's website at <https://www.oldham.gov.uk/livemeetings>.

- Notes
1. DECLARATIONS OF INTEREST- If a Member requires any advice on any item involving a possible declaration of interest which could affect his/her ability to speak and/or vote he/she is advised to contact Paul Entwistle or in advance of the meeting.
 2. CONTACT OFFICER for this Agenda is Constitutional.Services@oldham.gov.uk
 3. PUBLIC QUESTIONS – Any member of the public wishing to ask a question at the above meeting can do so only if a written copy of the question is submitted to the Contact officer by 12 Noon on Friday, 4 June 2021.
 4. ATTENDANCE DURING COVID-19 – due to current restrictions, a maximum of 24 members of the public are be able to attend the meeting, on a first come first served basis. Face coverings must be worn at all times and details for track and trace will be required on arrival. The meeting will be streamed live on the Council's website for the public to watch.
 5. FILMING – This meeting will be recorded for live and/or subsequent broadcast on the Council's website. The whole of the meeting will be recorded, except where there are confidential or exempt items and the footage will be on our website. This activity promotes democratic engagement in accordance with section 100A(9) of the Local Government Act 1972. The cameras will focus on the proceedings of the meeting. As far as possible, this will avoid areas specifically designated for members of the public who prefer not to be filmed. Disruptive and anti social behaviour will always be filmed.

Any member of the public who attends a meeting and objects to being filmed for the Council's broadcast should advise the Constitutional Services Officer who will instruct that they are not included in the filming. Members of the public and the press may also record / film / photograph or broadcast this meeting when the public and the press are not lawfully

excluded. Please note that anyone using recording equipment both audio and visual will not be permitted to leave the equipment in the room where a private meeting is held.

Recording and reporting the Council's meetings is subject to the law including the law of defamation, the Human Rights Act, the Data Protection Act and the law on public order offences.

MEMBERSHIP OF THE PLANNING COMMITTEE IS AS FOLLOWS:
Councillors Al-Hamdani, Brownridge, Davis (Vice-Chair), Dean (Chair), H. Gloster, Hobin, F Hussain, Ibrahim, Iqbal, Lancaster, Phythian, Surjan, Toor and Woodvine

Item No

14 Presentations (Pages 1 - 72)

Planning Committee Meeting

9th June 2021

Full planning permission for 98 affordable dwellings, together with associated parking, landscaping, drainage, the layout of roads and footways and other works following demolition of existing structures

Land at Cardwell Street bounded by Dowry Street to the south and Groby Street to the east, Oldham

Application No. FUL/345847/20



Aerial view



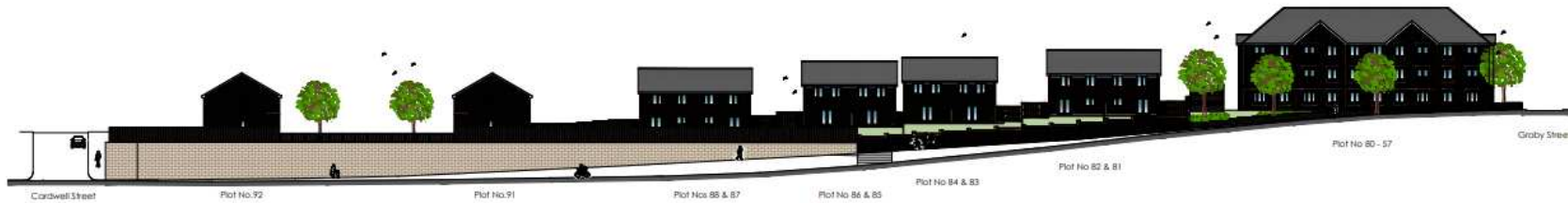
Location plan



Site layout



Street scenes



Street Scene Elevation to Dowry Street
(Shown Indicative Only - Subject to Levels)



Street Scene Elevation
(Shown Indicative Only - Subject to Levels)



Street Scene Elevation to Cardwell Street

01 02 03 04

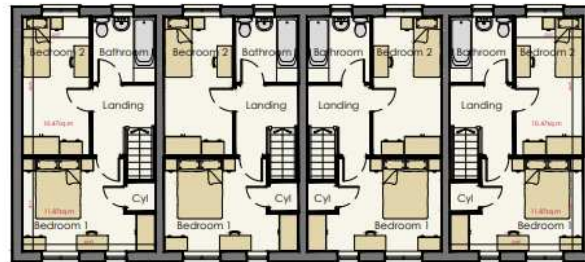
House types



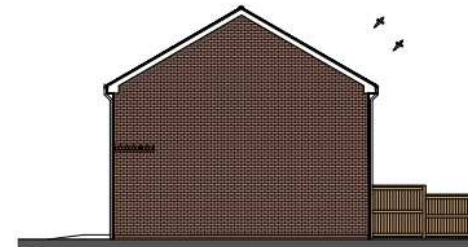
Front Elevation - Terrace of 4
2B3P House Type 70sq.m



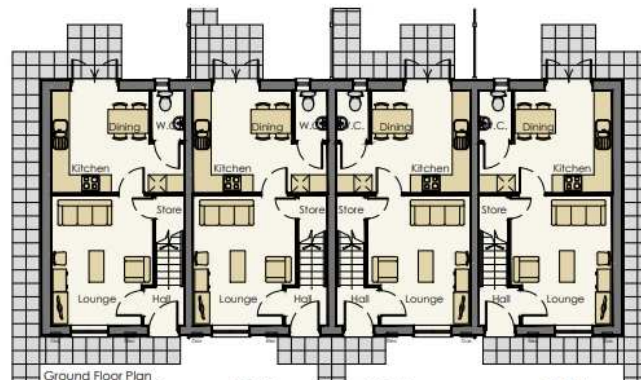
Rear Elevation - Terrace of 4
2B3P House Type 70sq.m



First Floor Plan
2B3P House Type 70sq.m 2B3P 70sq.m 2B3P 70sq.m 2B3P 70sq.m



Side Elevation
2B3P House Type 70sq.m



Ground Floor Plan
2B3P House Type 70sq.m 2B3P 70sq.m 2B3P 70sq.m 2B3P 70sq.m



Side Elevation
2B3P House Type 70sq.m

House type



Front Elevation
2B3P House Type 70sq.m



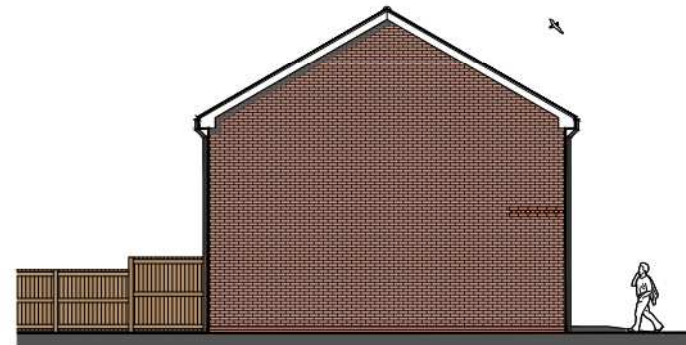
Rear Elevation
2B3P House Type 70sq.m



Ground Floor Plan
2B3P House Type 70sq.m



First Floor Plan
2B3P House Type 70sq.m



Side Elevation
2B3P House Type 70sq.m
(Adjoining property handed)

REV	DATE	BY	DESCRIPTION	APPROVED	ENG. CHECK
A	MAR 21	SHW	UPDATED		

TITLE
**2B3P HOUSE TYPE 70
FLOOR PLANS & ELEVATIONS**



M.C.I. Developments Ltd.
15 Beecham Court,
Smithy Brook Road,
Wigan, WN3 6PR
Tel: 08448872867
Fax: 08448872458
www: www.mciddevelopments.com
email: admin@mcidevelopments.com

Apartment elevations

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Apartments Elevation Facing Car Parking Court



Apartments Side Elevation



Apartments Elevation Facing Dowry Street



Apartments Side Elevation

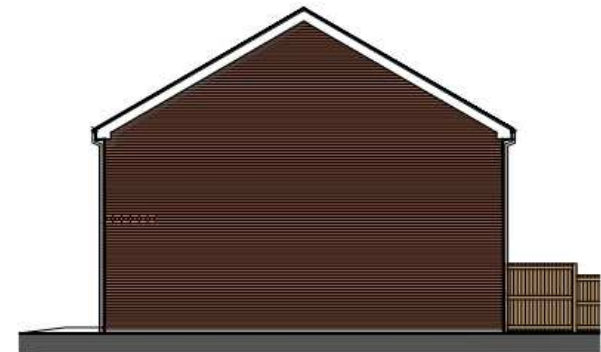
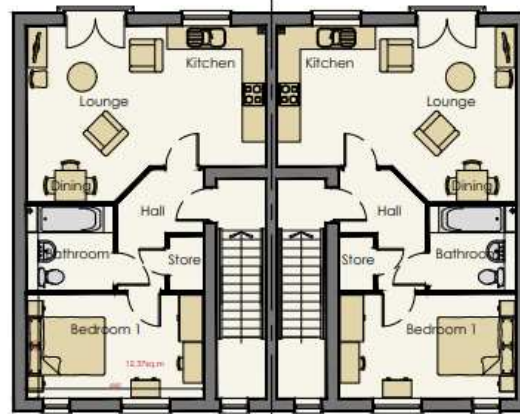
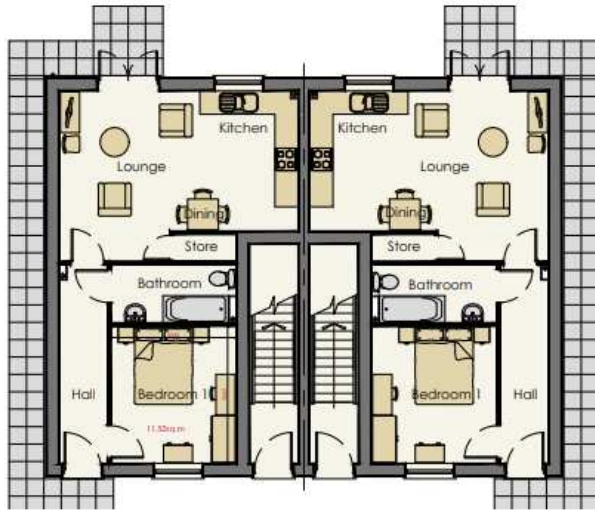
Proposed maisonettes



Front Elevation
1B2P Maisonettes 50 - 60sq.m



Rear Elevation
1B2P Maisonettes 50 - 60sq.m



Side Elevation
1B2P Maisonettes 50 - 60sq.m
(Adjoining property handed)

Cardwell Street/ Dowry Street



View along Dowry Street Street



Dowry Street/ Groby Street junction



View along Groby Street



View along Cardwell Street



Planning Committee Meeting

Date 9th June 2021

Erection of 4 no. residential dwellings

Land at Buckley Street, Lees, Oldham OL4 5AS

Application No. FUL/345895/20



Oldham
Council

Aerial view



Location plan



View along Buckley Street



Rear of properties on Spring Lane



View across the site towards Brookway



Access towards West Street



Proposed elevations



Proposed Front Elevation (North-West)



Proposed Side Elevation (North)

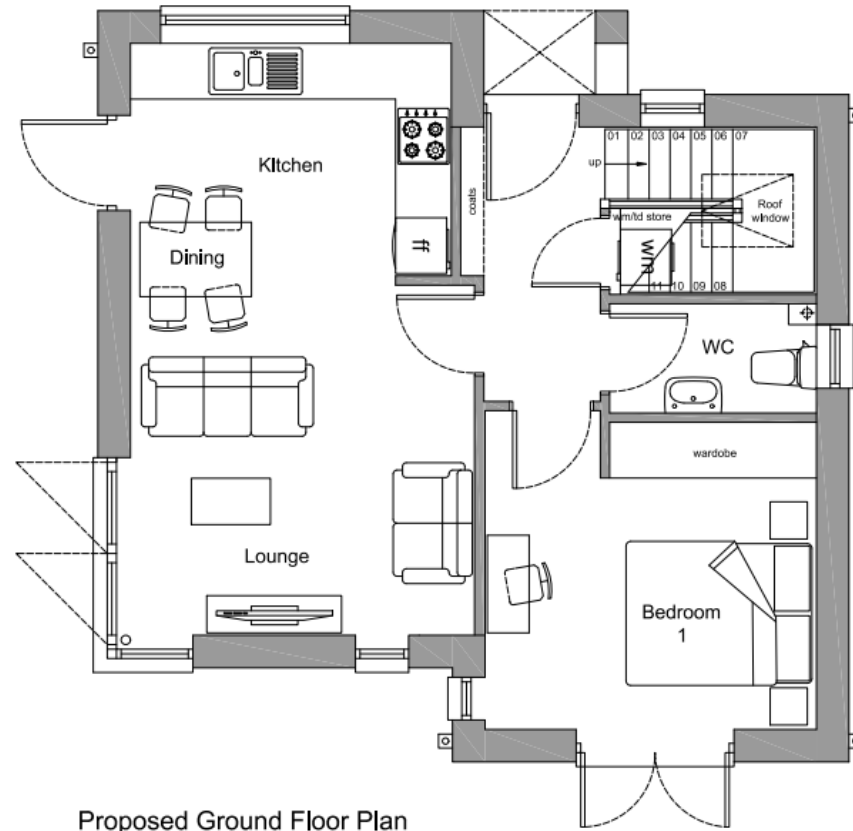


Proposed Side Elevation (South-West)

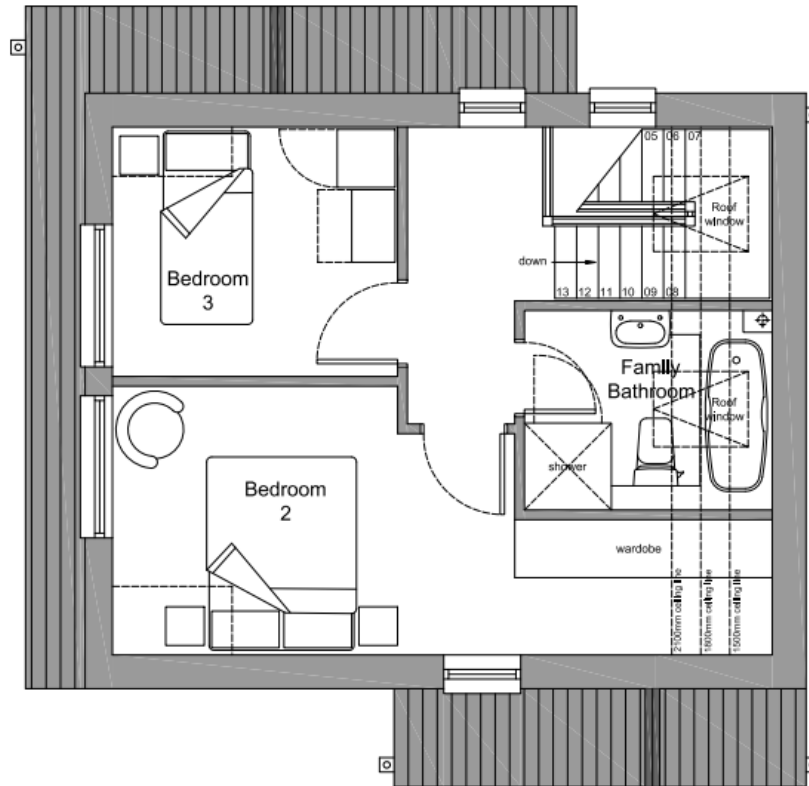


Proposed Rear Elevation (South-East)

Proposed ground floor plan



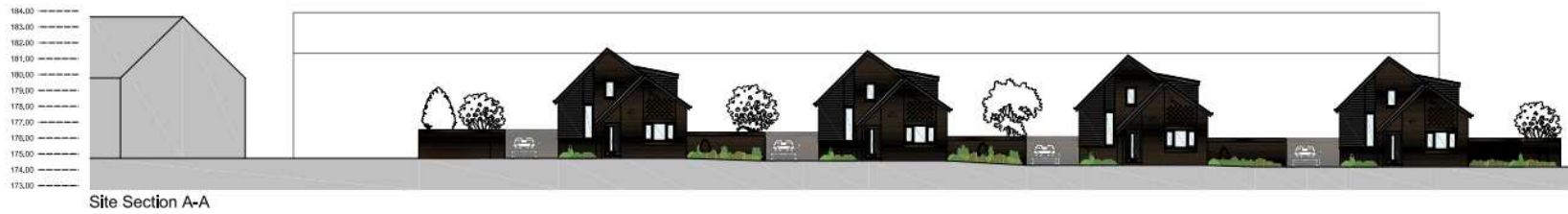
Proposed first floor plan



Proposed First Floor Plan

Proposed site sections

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REV	DATE	AMENDMENT	BY	CHKD
A	03/03/2021	Internal layout amended to accommodate new windows and external lighting amendments.	DC	MB

Planning Committee Meeting

9th June 2021

Change of use of public house to supported accommodation

Former Weavers Answer public house
70-74 Milnrow Road, Shaw, OL2 8ER

Application No. FUL/346233/21

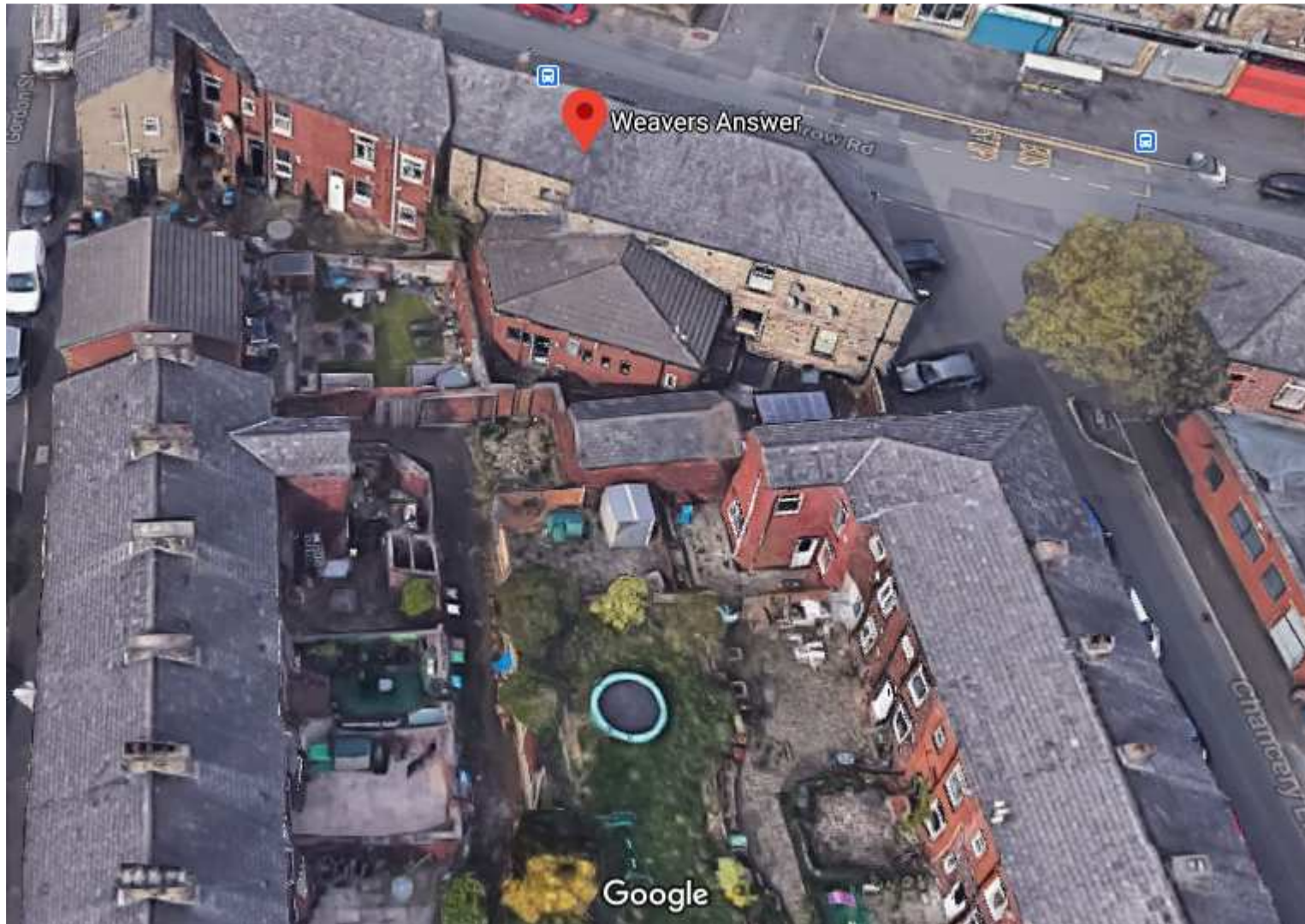
Aerial view



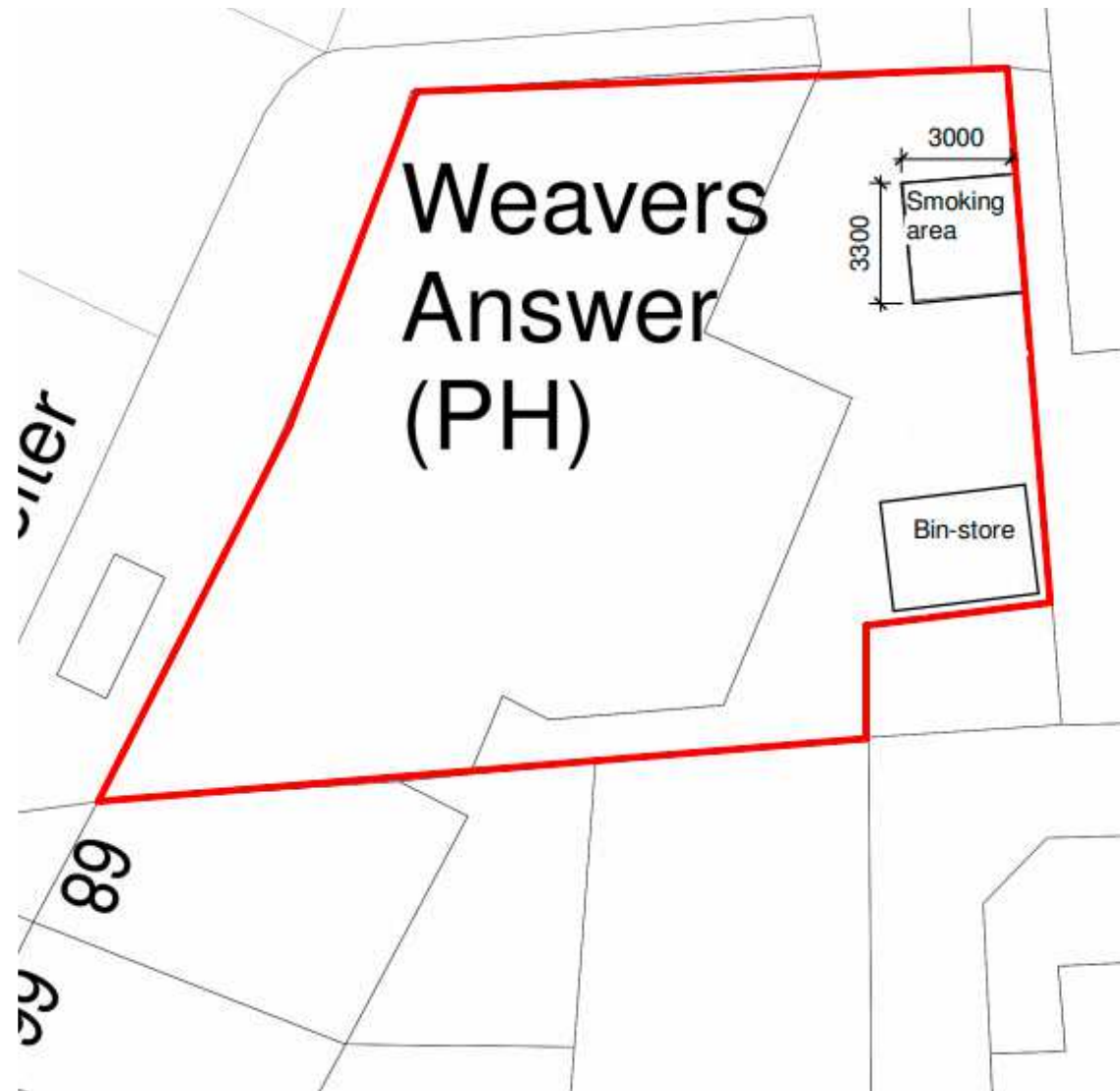
Front and side elevations



Rear elevation as existing

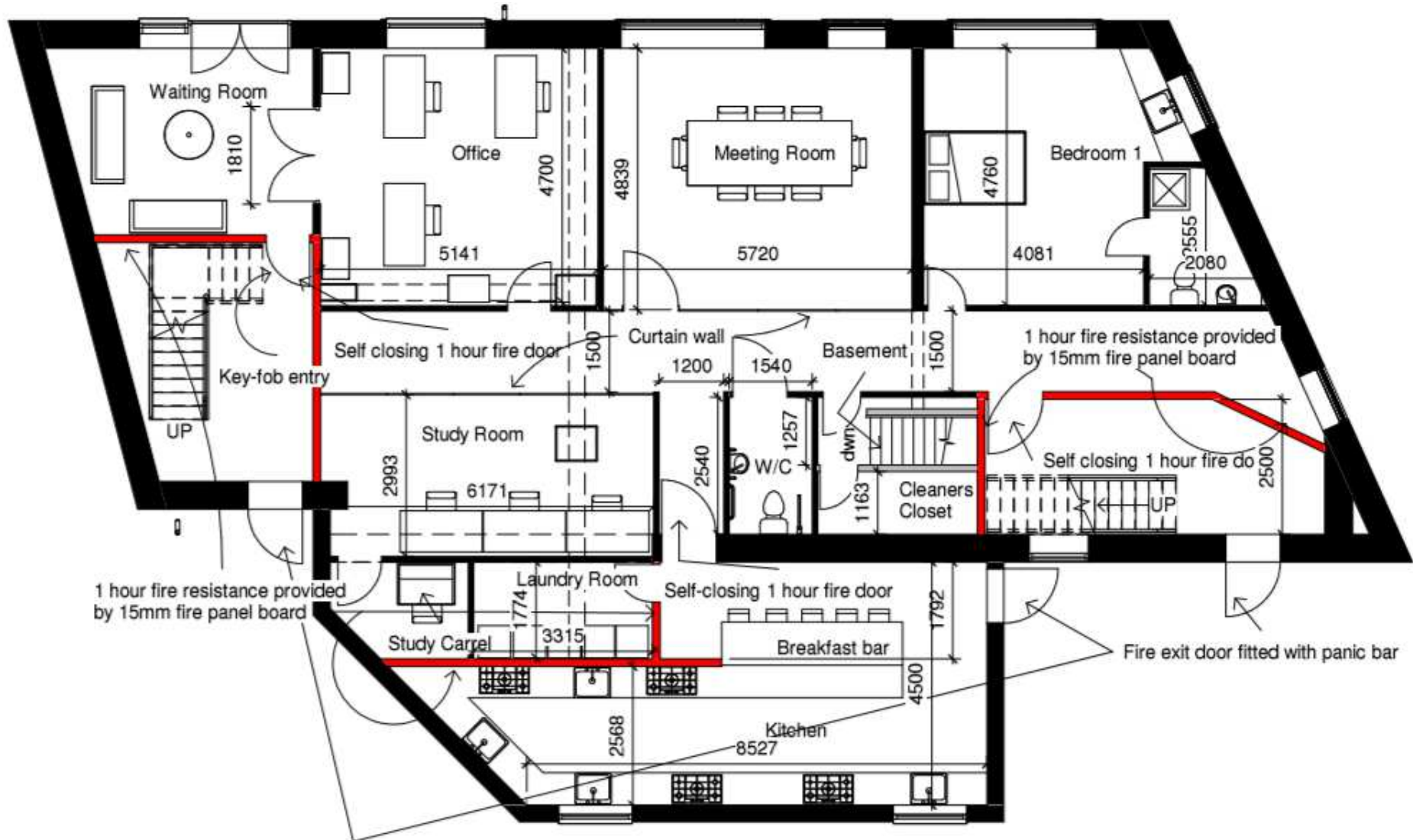


Revised site plan

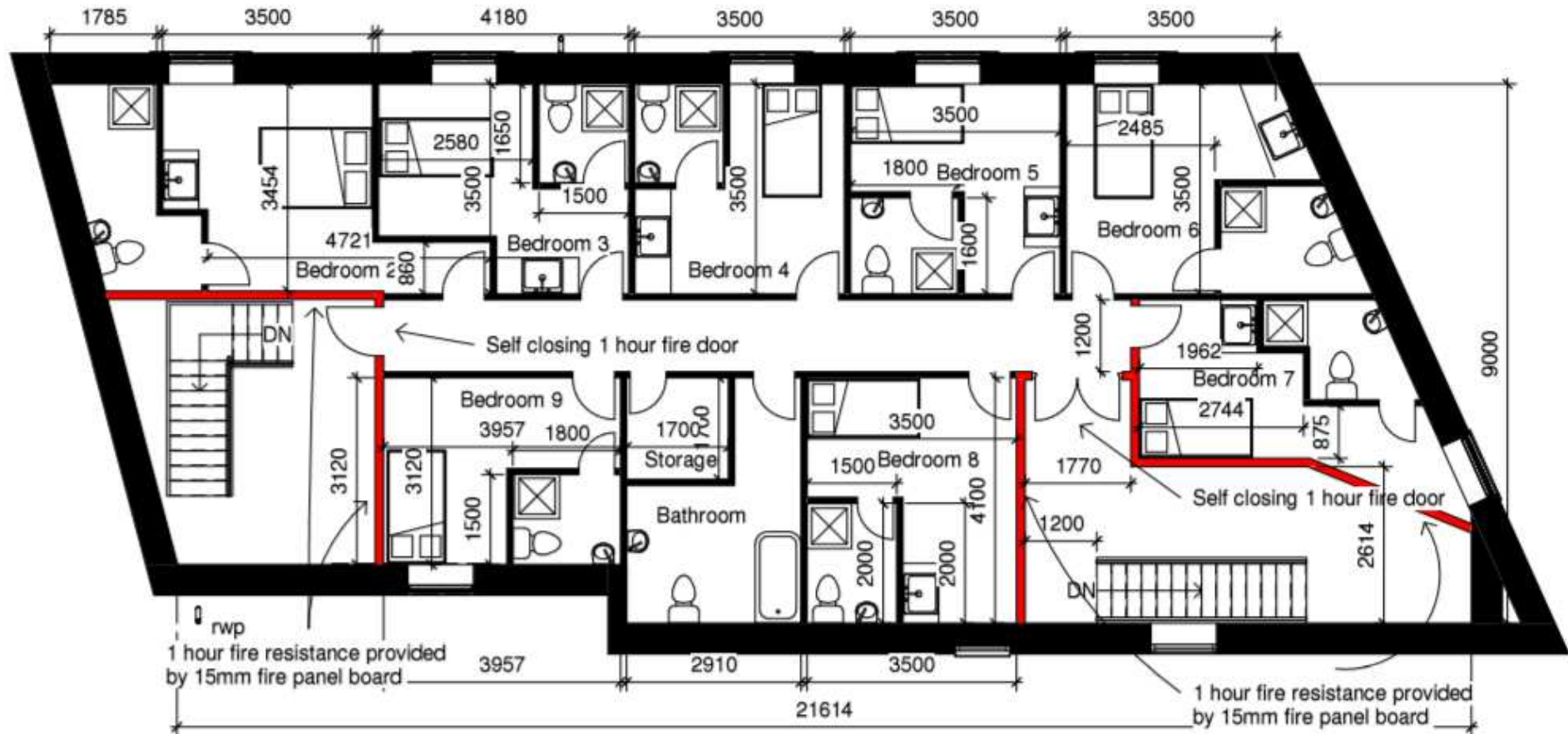


Proposed ground floor plan

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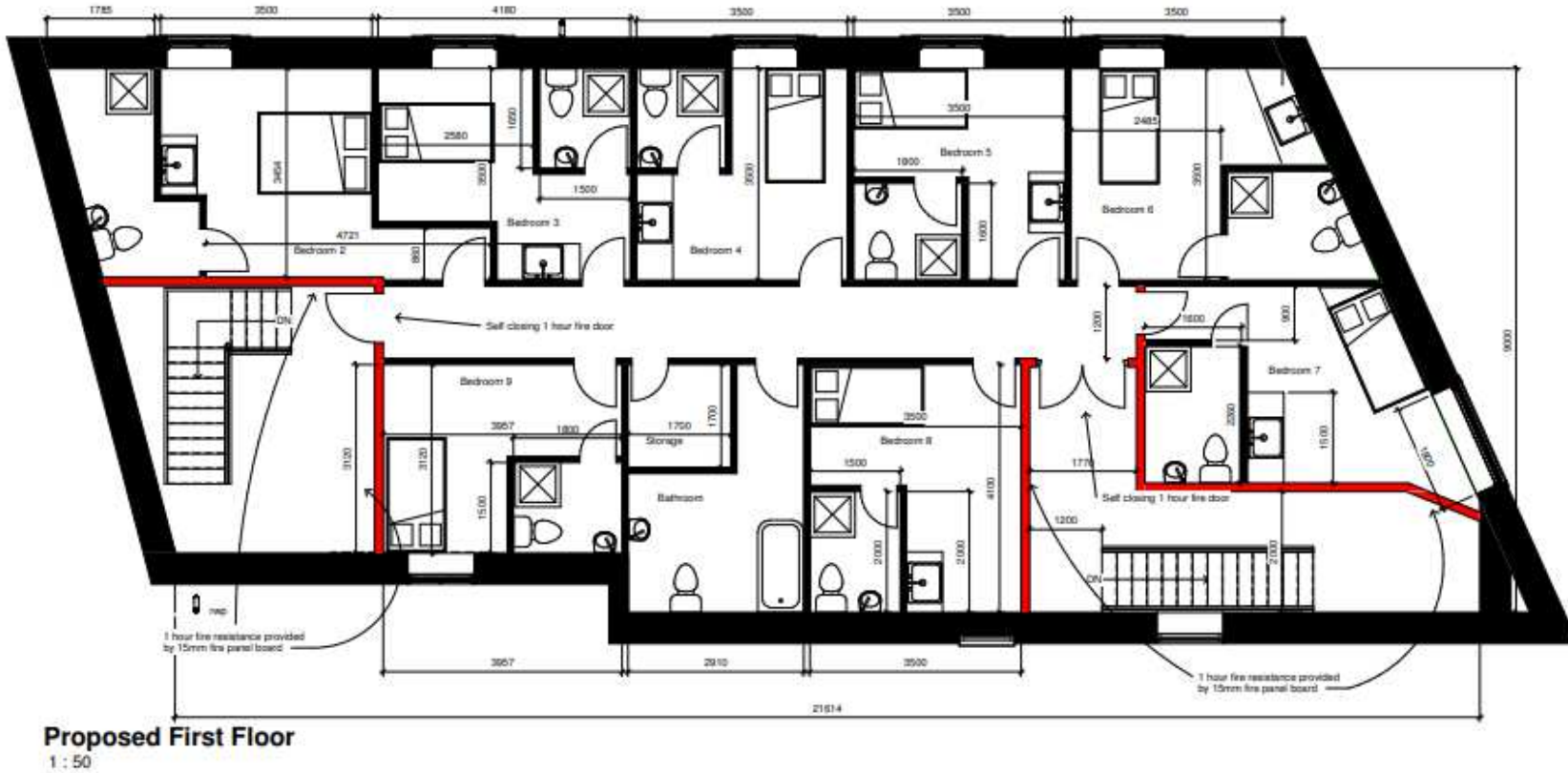


Original first floor plan



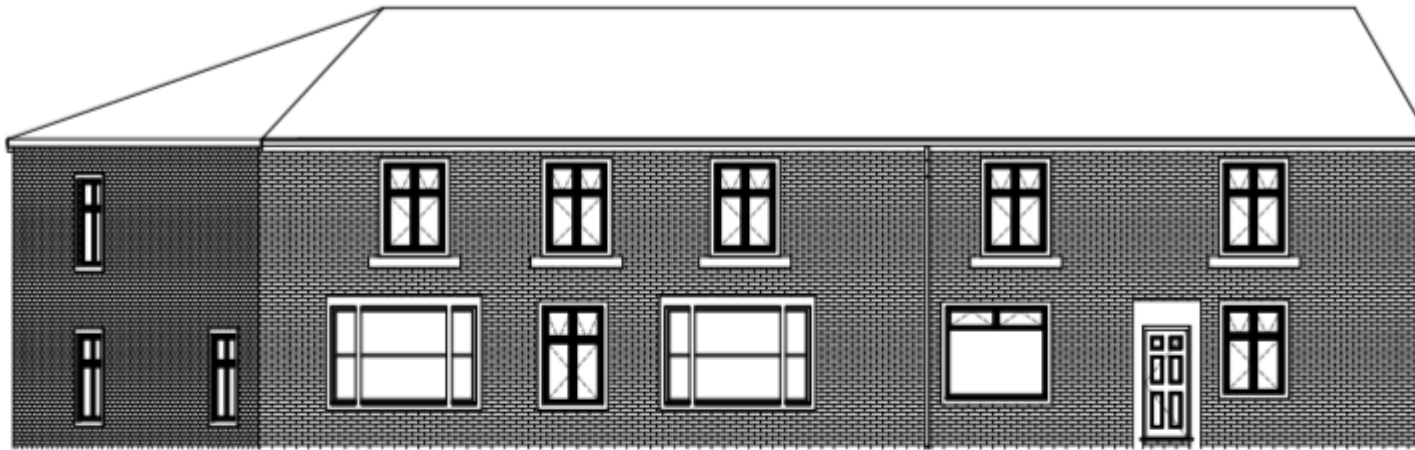
Revised first floor

Page 34

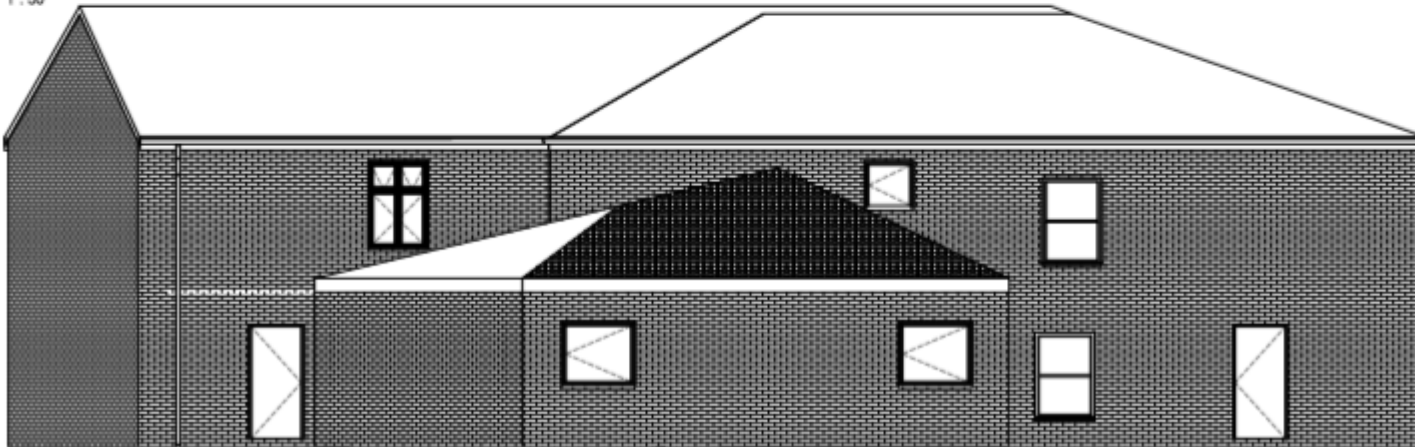


Proposed front and rear elevation

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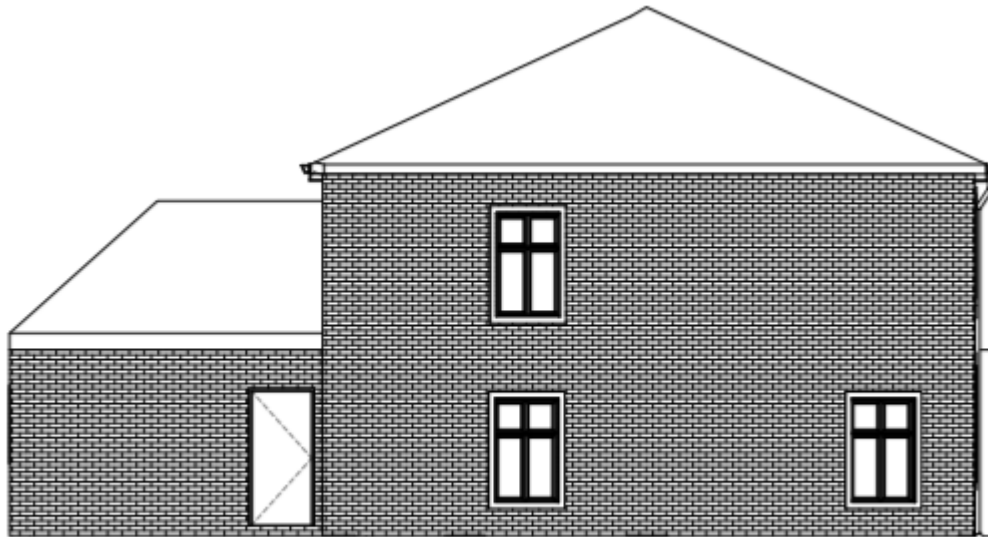
Proposed Front
1 : 50



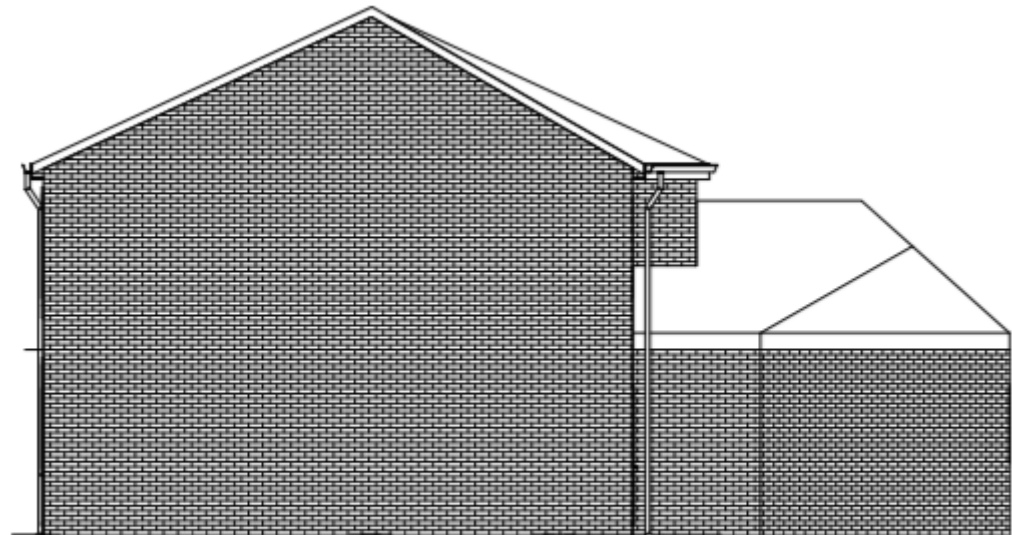
Proposed Rear
1 : 50

Proposed side elevations

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Proposed Side
Chancery Lane



Proposed Side (68 Milnrow Rd)

Planning Committee Meeting

9th June 2021

Full planning permission for the demolition of the existing buildings and erection of 88no. dwellings with access, landscaping, a public open space and associated works

Vale Drive Estate, Vale Drive, Oldham

Application No. FUL/346270/21

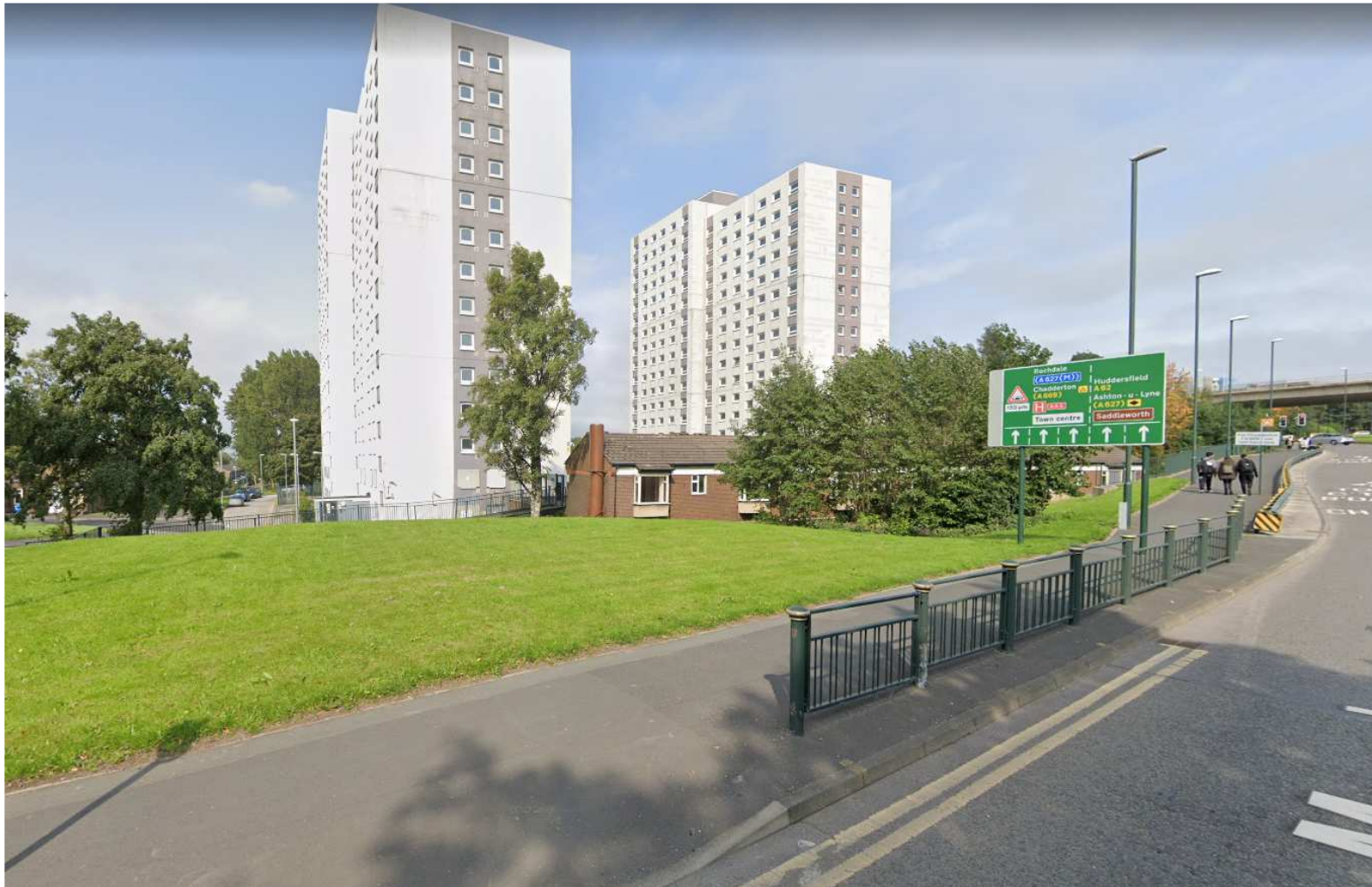
Aerial view



Site boundary



Site view from Manchester Street



View from Oldham Way



View from Vale Drive to Manchester Street



Existing view from Vale Drive



Proposed site layout



Proposed Apartment Building

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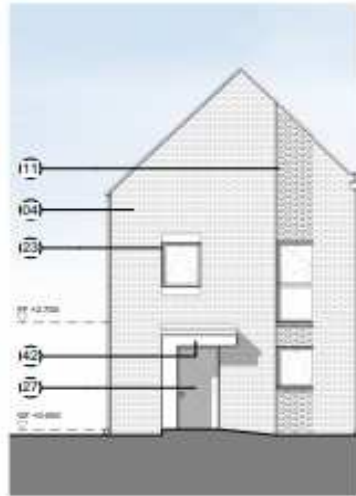


Proposed Street Scenes

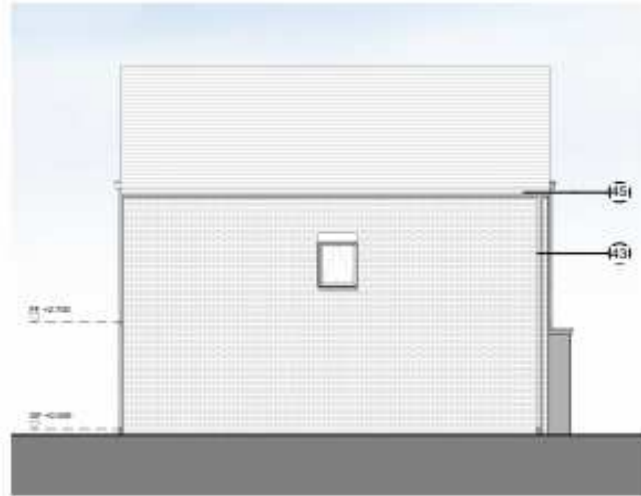
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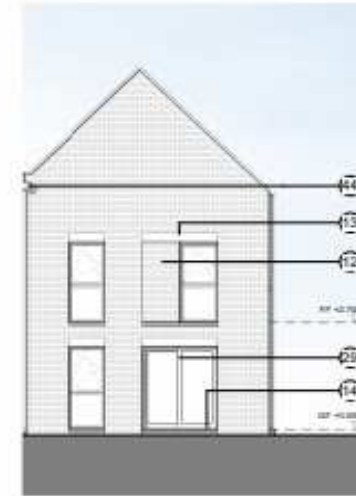
Example House Type – 4 bed home



Front Elevation
1:100



Side Elevation
1:100



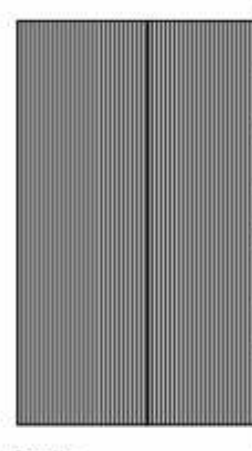
Rear Elevation
1:100



Ground Floor Plan
1:100



First Floor Plan
1:100



Roof Plan
1:100

Material Finishes	
No.	Item
10	External Solid Brick Finish to External Wall (M250) (200)
11	Brickwork to External Wall (M250) (200) (200)
12	Brickwork to External Wall (M250) (200) (200)
13	Brickwork to External Wall (M250) (200) (200)
14	Brickwork to External Wall (M250) (200) (200)
15	Brickwork to External Wall (M250) (200) (200)
16	Brickwork to External Wall (M250) (200) (200)
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24	Brickwork to External Wall (M250) (200) (200)
25	Brickwork to External Wall (M250) (200) (200)
26	Brickwork to External Wall (M250) (200) (200)
27	Brickwork to External Wall (M250) (200) (200)
28	Brickwork to External Wall (M250) (200) (200)
29	Brickwork to External Wall (M250) (200) (200)
30	Brickwork to External Wall (M250) (200) (200)

The contractor is responsible for checking dimensions, structures and materials. See specification for the external wall and internal wall. All dimensions are to the external wall unless otherwise stated. All dimensions are to the external wall unless otherwise stated. All dimensions are to the external wall unless otherwise stated. All dimensions are to the external wall unless otherwise stated.

Rev. Date Description
A 201203 Floor Plan
B 201203 Internal Development and Structure Revised
C 201203 Revised Detail and Design Process
D 201203 Planning Note

Date: 01/01/2012
Drawn: JK
Checked: JK
Date: 01/01/2012
Scale: 1:100

VALE DRIVE, OLDHAM
Type B - 4B5P House

AA8207-2182
REV C
PLANNING

PRP
prp-co.uk
Manufacture
0161 342 8888

Example House Type 2 bed Property



Front Elevation
1 : 100



Side Elevation
1 : 100



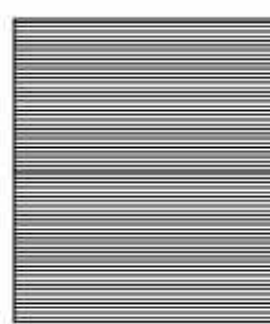
Rear Elevation
1 : 100



Ground Floor Plan
1 : 100



First Floor Plan
1 : 100



Roof Plan
1 : 100

The contractor is responsible for checking dimensions, submissions and references.
An Architectural Review will be carried out with the Architect before construction starts. Any
changes or alterations to the design must be approved by the Architect. Any changes
to the design must be approved by the Architect. Any changes to the design must be
approved by the Architect.

Material Finishes	
No.	Detail
01	External Walls: Render (Refer to Materials Plan)
02	External Walls: Brickwork
03	External Walls: Render (Refer to Materials Plan)
04	External Walls: Brickwork
05	External Walls: Render (Refer to Materials Plan)
06	External Walls: Brickwork
07	External Walls: Render (Refer to Materials Plan)
08	External Walls: Brickwork
09	External Walls: Render (Refer to Materials Plan)
10	External Walls: Brickwork
11	External Walls: Render (Refer to Materials Plan)
12	External Walls: Brickwork
13	External Walls: Render (Refer to Materials Plan)
14	External Walls: Brickwork
15	External Walls: Render (Refer to Materials Plan)
16	External Walls: Brickwork
17	External Walls: Render (Refer to Materials Plan)
18	External Walls: Brickwork
19	External Walls: Render (Refer to Materials Plan)
20	External Walls: Brickwork
21	External Walls: Render (Refer to Materials Plan)
22	External Walls: Brickwork
23	External Walls: Render (Refer to Materials Plan)
24	External Walls: Brickwork
25	External Walls: Render (Refer to Materials Plan)
26	External Walls: Brickwork
27	External Walls: Render (Refer to Materials Plan)
28	External Walls: Brickwork
29	External Walls: Render (Refer to Materials Plan)
30	External Walls: Brickwork

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 © 2010/11 Technical, Detail and Design Team JK JK
 © 2010/11 Internal Design and External Design Team JK JK
 © 2010/11 Floor Plans JK JK
 Rev. Date Description Size C/A

VALE DRIVE, OLDHAM
 Type C - 2B4P Mews House

AA8207-2103 **REV C**

PLANNING

Drawn By: Checked By: Date: 01/10/2010 Drawn By: 01/10/2010

PRP 02-03-UK
 Manchester
 0161 242 8880

Site of proposed play area



Proposed LEAP Layout

Orientation of site has not been checked, design subject to check before installation.

Equipment List:

- Bench - SB5057
- Bin - SB5084
- Spring Rider - SB4132
- Roundabout - SB3034
- See-saw - TB7044
- Toddler Swing - TB7034-T
- Junior Swing - TB7034-J
- Multi Play Unit - TB7050
- Multi Play Unit - TB7045

Legend:

- Play Area
- Soft Fall
- Hard Fall
- Water Drain
- Obstruction
- Boundary
- Proposed
- Existing

Project Info: Vale Drive, Clifton

Client Info:

Product Code: Q7567 A

Rev: 1.201521

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EXACT LOCATION OF EQUIPMENT TO BE AGREED ON SITE. ALL SURFACING TO BE FLAT AND LEVEL. ANY DISCREPANCIES IN LEVELS TO BE REPORTED TO MIRACLE DESIGN & PLAY IMMEDIATELY.

Planning Committee Meeting

Date 9th June 2021

Single storey side extension and alterations

Morley Bunkers, Tunstead Lane, Greenfield, Oldham
OL3 7NY

Application No. HOU/346471/21 and LBC/346472/21



Oldham
Council

Aerial view



Location plan



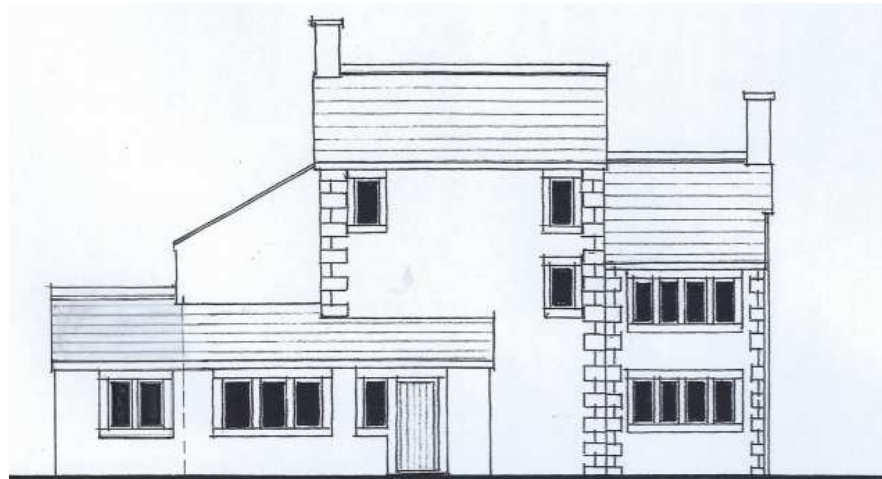
View of the property



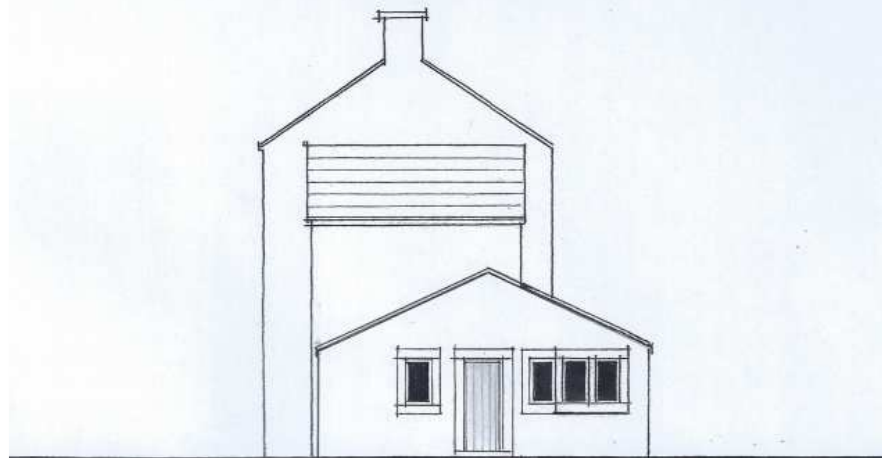
Block plan



Proposed front and side elevations



Road Elevation

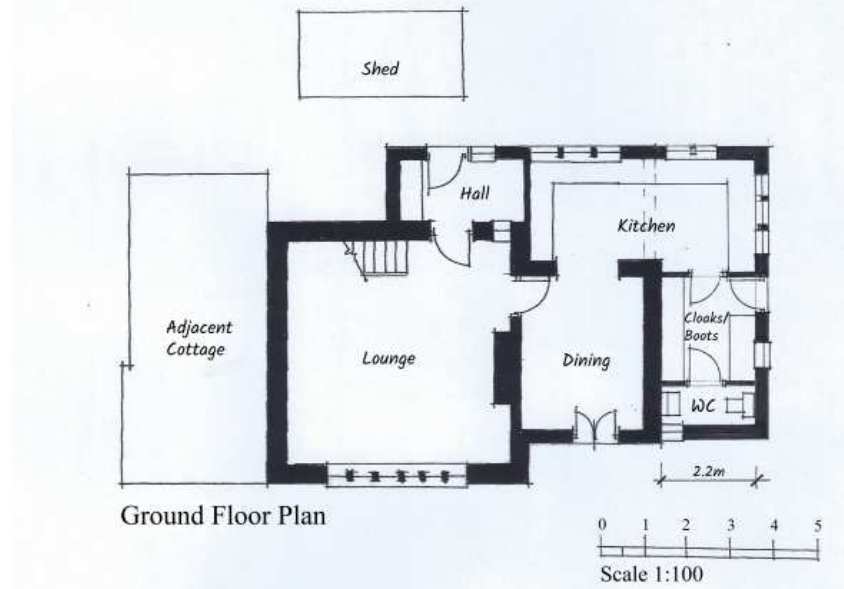


Side Elevation

Proposed garden elevation and floor plan



Garden Elevation



Ground Floor Plan

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Planning Committee Meeting

9th June 2021

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FUL/346666/21 - Change of use of former County Court building to a residential building of 42 No. apartments and alterations to external elevations including insertion of new windows (Revision to PA/344948/20)

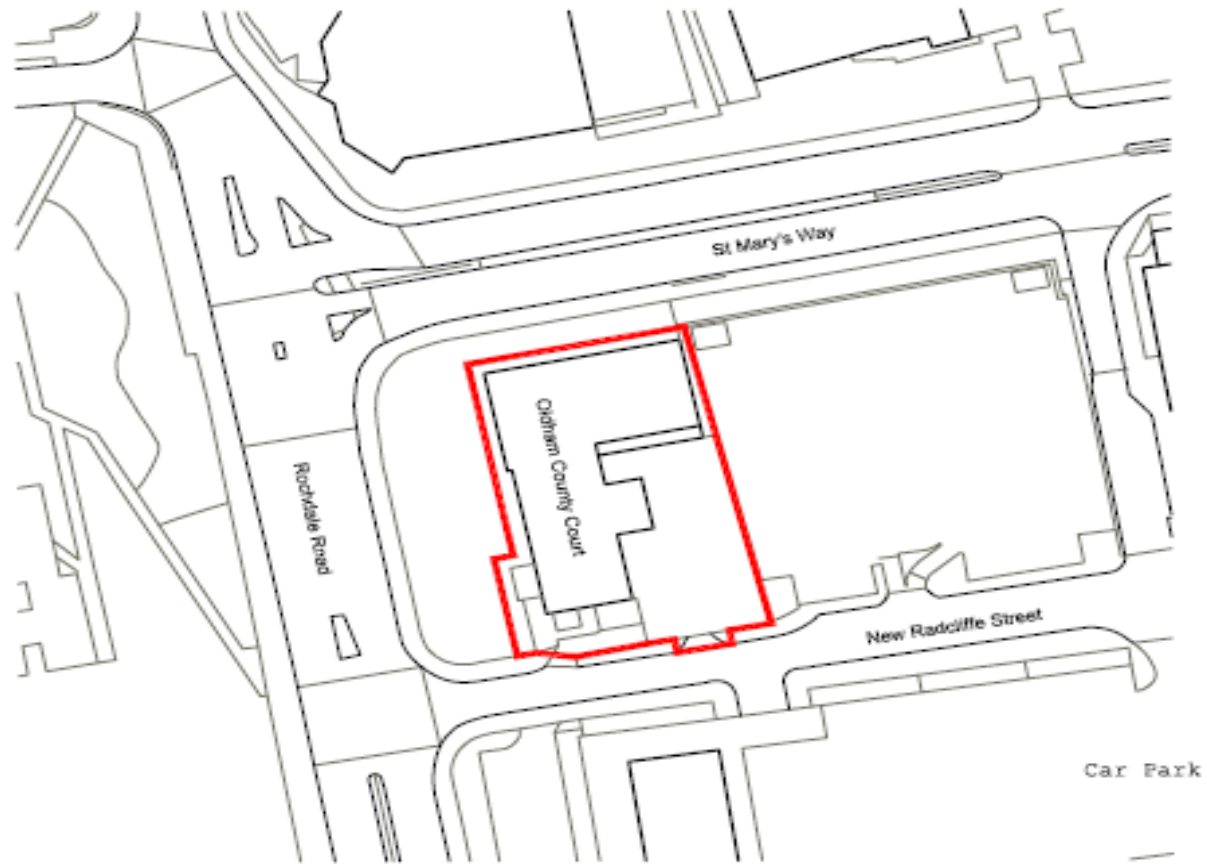
Oldham County Court, 122 Rochdale Road



Oldham
Council

Site Location Plan

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Aerial View



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Front Elevation

Page 62



Rear Elevation

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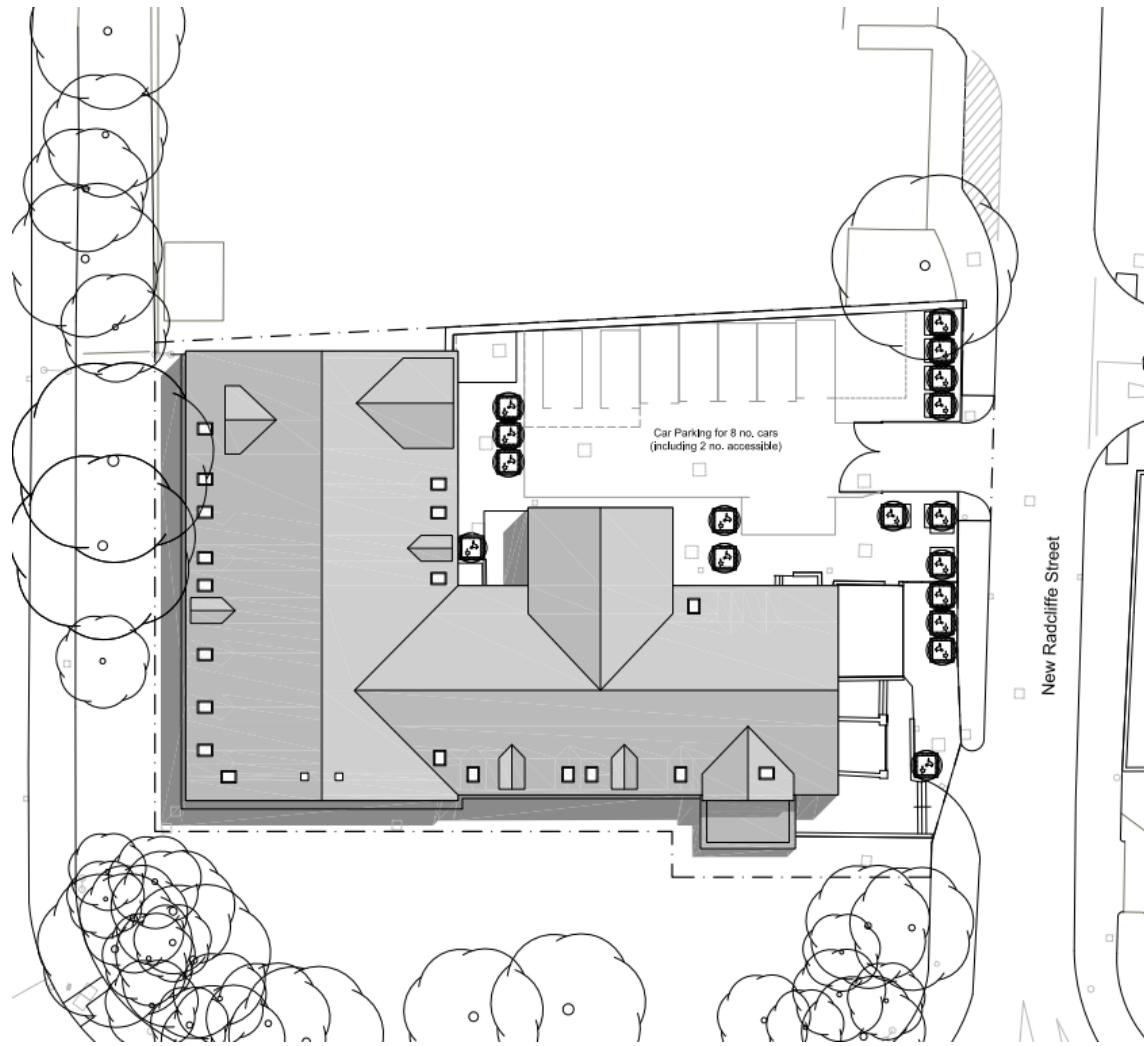
Side Elevation (New Radcliffe Street)

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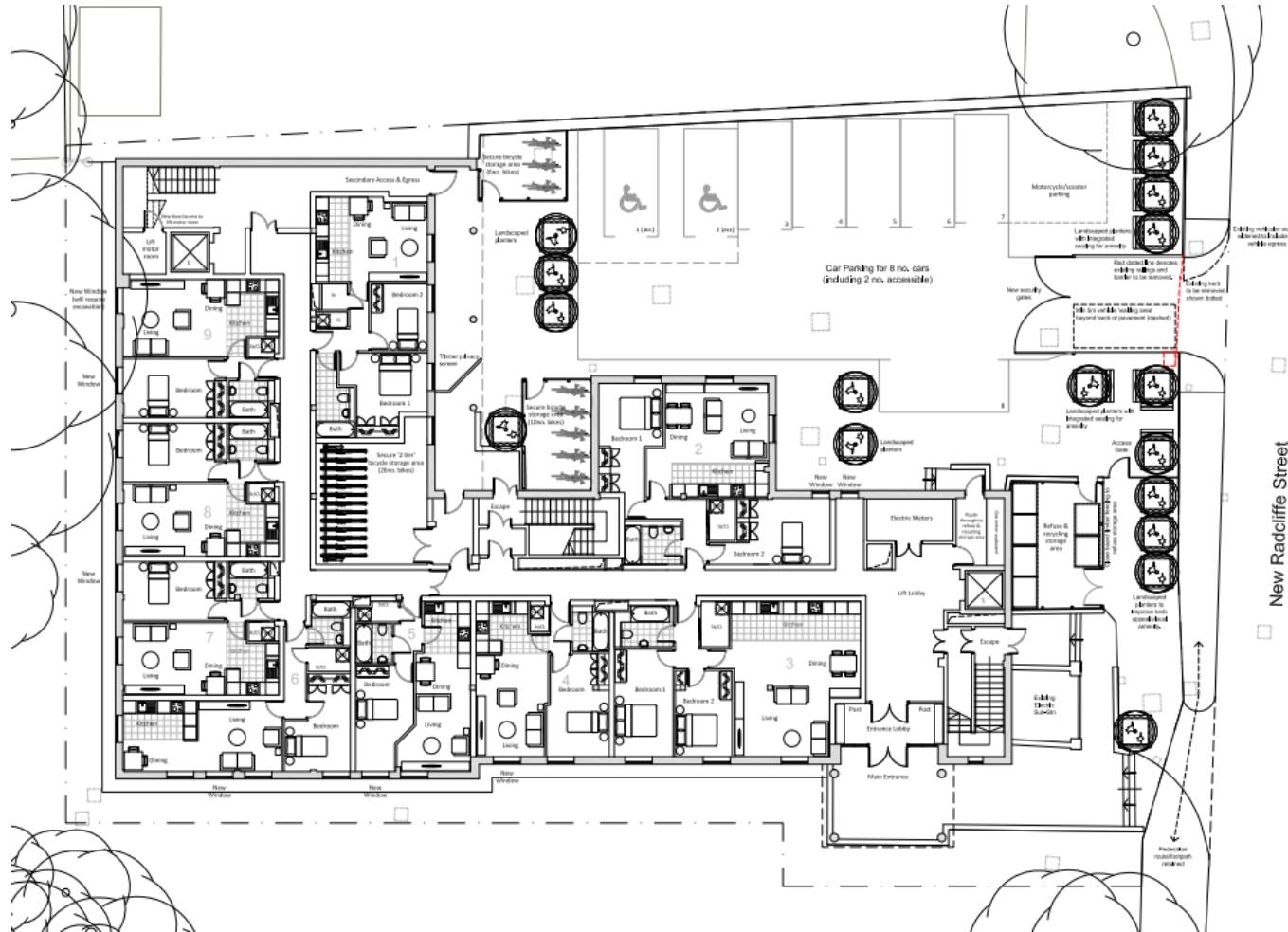
Proposed site plan

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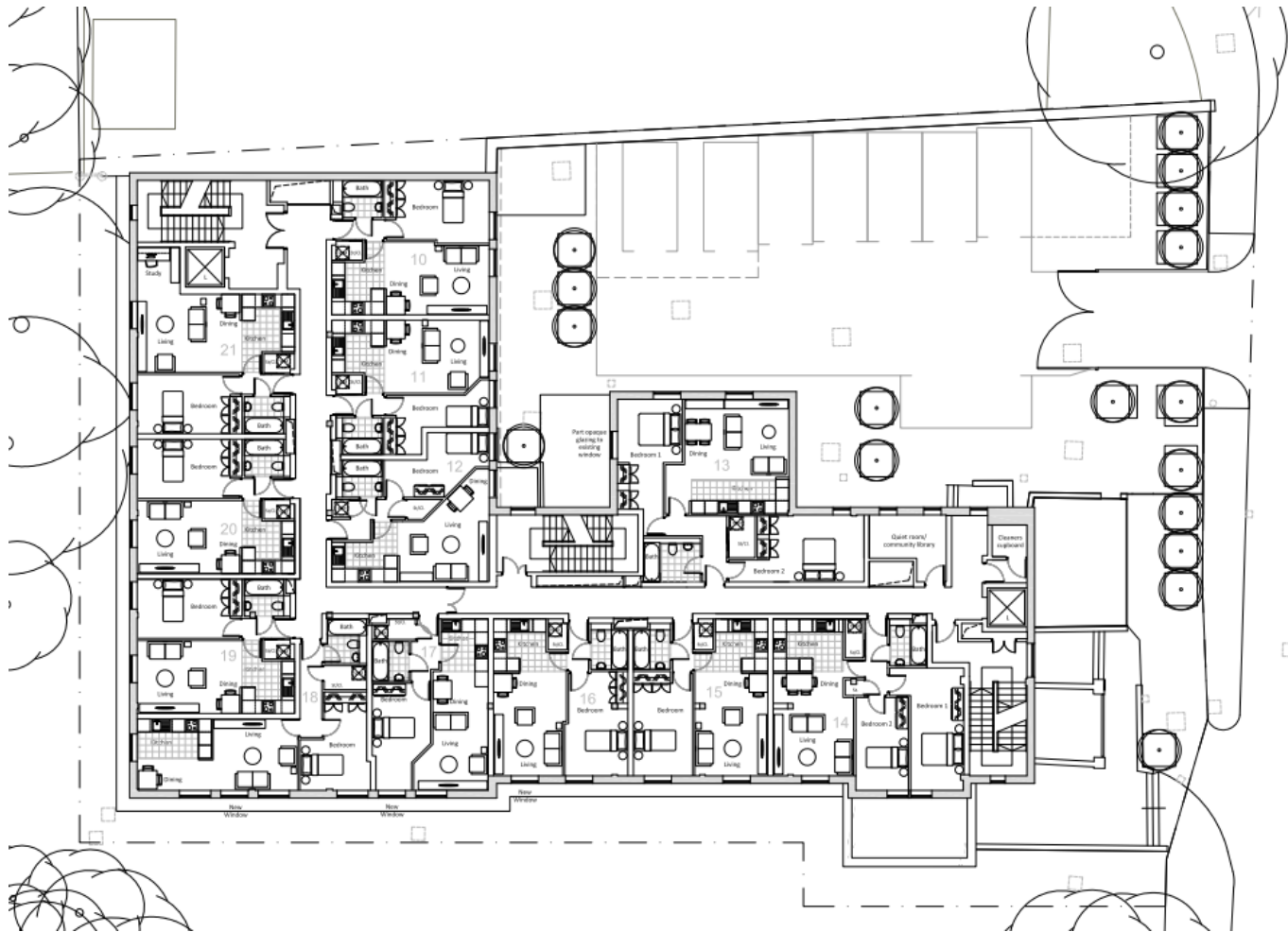


Proposed ground floor plan

Page 66



Proposed first floor



Proposed second floor plan

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Proposed third floor

Page 69



Proposed rear elevation

Page 70



Proposed front elevation

Page 71



Proposed side elevation

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